

VIII. NEW RESIDENTIAL BUILDING GUIDELINES

#77) NEW CONSTRUCTION SHOULD BE DIFFERENTIATED FROM THE OLD

Normally Required

- a. New construction should be differentiated from the old and shall be compatible with the massing, scale, size, and architectural features of adjacent buildings.

#78) BUILDING RECONSTRUCTION MAY BE ALLOWED

- a. Reconstruction of buildings that are clearly documented through plans, photographic evidence or other documentation may occur on their original site.
- b. Reconstructed buildings should be constructed with materials, design, detailing, and decorative features to match or closely approximate the original building.
- c. Reconstructed buildings should be clearly designated as a reconstruction as opposed to an original historic building. This may be done through a marker applied to the exterior of the building, freestanding sign, or other method of designation.

#79) NEW CONSTRUCTION SHOULD BE COMPATIBLE IN HEIGHT WITH ADJACENT STRUCTURES

Normally Required

- a. New construction should be compatible in height with adjacent structures. New construction should vary no more than 10% with the average building height along its block.

#80) FLOOR TO CEILING HEIGHTS SHOULD BE COMPATIBLE WITH ADJACENT STRUCTURES

Normally Required

- a. New buildings should be compatible with adjacent structures in floor to ceiling heights. Appropriate heights for new construction are from eight feet to ten feet.

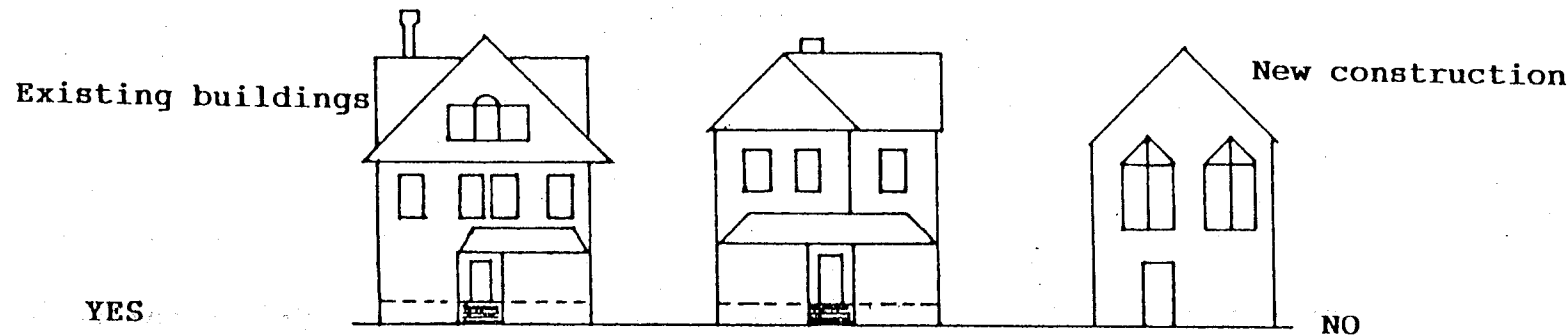
NEW RESIDENTIAL BUILDING GUIDELINES



Existing buildings

New construction

Floor to ceiling heights should be maintained.



YES

NO

New construction should respect adjacent foundation heights.

#81) FOUNDATION HEIGHTS SHOULD BE COMPATIBLE WITH ADJACENT STRUCTURES

Normally Required

- a. New buildings must have foundation heights of at least one foot above grade on the primary facade. No building shall be constructed at grade in the historic areas.
- b. Buildings of brick construction must have the foundation level delineated through some type of belt course such as soldier or sailor coursing.

NEW RESIDENTIAL BUILDING GUIDELINES

#82) NEW BUILDINGS SHOULD BE COMPATIBLE IN PORCH CONFIGURATION

Normally Required

- a. New buildings should be compatible with adjacent buildings in porch configuration and placement. On most blocks this will require some type of porch on the primary facade but there may be some areas where a porch would not be required.
- b. Porches should have simple columns and balusters. Square or round columns are acceptable and columns should be a minimum of eight inches and a maximum of twelve inches in diameter or square. Ornate milled columns, variations of Greek orders, or Bungalow style columns should not be placed on porches. Simple square balusters for porch railings are appropriate.

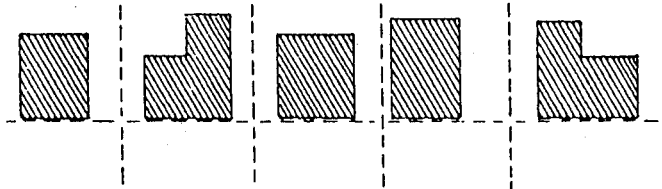
#83) NEW BUILDINGS SHOULD MAINTAIN DOOR AND WINDOW OPENING ALIGNMENT

Normally Required

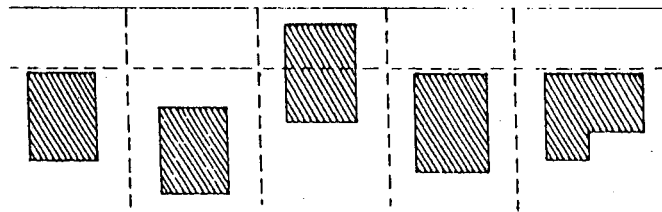
- a. New buildings should maintain the rhythm and spacing of window and door openings of adjacent structures.
- b. Primary facades shall not have blank walls.
- c. Window and door openings shall not exceed the height and width ratios of adjacent buildings by more than ten percent (10%). Oversized doors or undersized doors or windows should not be built on primary or readily visible secondary facades.
- d. If window shutters are desired they should meet the size and configuration guidelines set forth in the Rehabilitation Guidelines.

NEW RESIDENTIAL BUILDING GUIDELINES

Appropriate setback



Inappropriate setback



New buildings must follow setback zoning regulations.

#84) SETBACKS FOR NEW BUILDINGS SHOULD BE CONSISTENT WITH ADJACENT STRUCTURES

Normally Required

- a. New buildings should reinforce and maintain existing setbacks of adjacent structures.

NEW RESIDENTIAL BUILDING GUIDELINES

#85) NEW BUILDINGS SHOULD REINFORCE A BLOCK'S RHYTHM AND SPATIAL DISTANCES

Normally Required

- a. New buildings should reinforce and maintain a block's rhythm and the spatial distances between buildings. Unless otherwise approved, all structures shall comply with the area regulations of the district.

#86) NEW BUILDING MATERIALS SHOULD BE COMPATIBLE WITH HISTORIC MATERIALS

Recommended

- a. New buildings may be of frame, brick, or stone construction.
- b. Exterior siding materials for frame buildings should be of weatherboard, clapboard or shiplap siding. Artificial sidings such as aluminum and vinyl shall not be allowed.
- c. Brick buildings should match historic brick buildings in width of the mortar joints, size and scale of the bricks, color, and texture.
- d. Porch elements should be of wood but the use of brick or metal may be appropriate .
- e. Foundations may be of brick or concrete. If concrete blocks are used they should be covered with stucco.
- f. Acceptable roof materials are asphalt and fiberglass shingles and metal standing seam. Wood shingle roofs should not be added.

NEW RESIDENTIAL BUILDING GUIDELINES

#87) PRIMARY BUILDING ENTRANCES MUST BE ORIENTED TOWARDS THE STREET

Normally Required

- a. New buildings should have their main entrances located on the primary or street facades.
- b. New buildings on corner lots may have entrances located on both street facades.

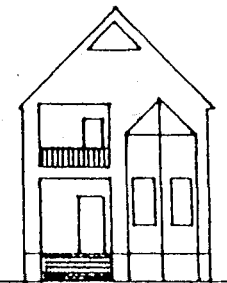
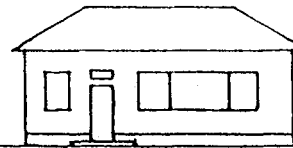
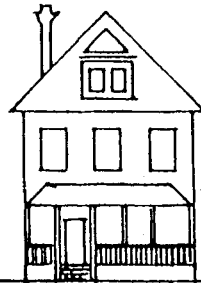
#88) ADDITIONS ON PRIMARY FACADES SHOULD NOT TAKE PLACE

Normally Required

- a. Additions to buildings shall not be placed on primary facades.
- b. Additions may be added at rear facades and secondary facades not readily visible from the street.
- c. Additions should be compatible with the building. Exact replication of historic structures for additions should be avoided unless there is documentation for such an addition.
- d. Additions should not overwhelm or dominate the original structure. The square footage of additions should be limited to no more than 50% of the square footage of the original building.

NEW RESIDENTIAL BUILDING GUIDELINES

EXISTING BUILDINGS



NEW CONSTRUCTION

NO

YES

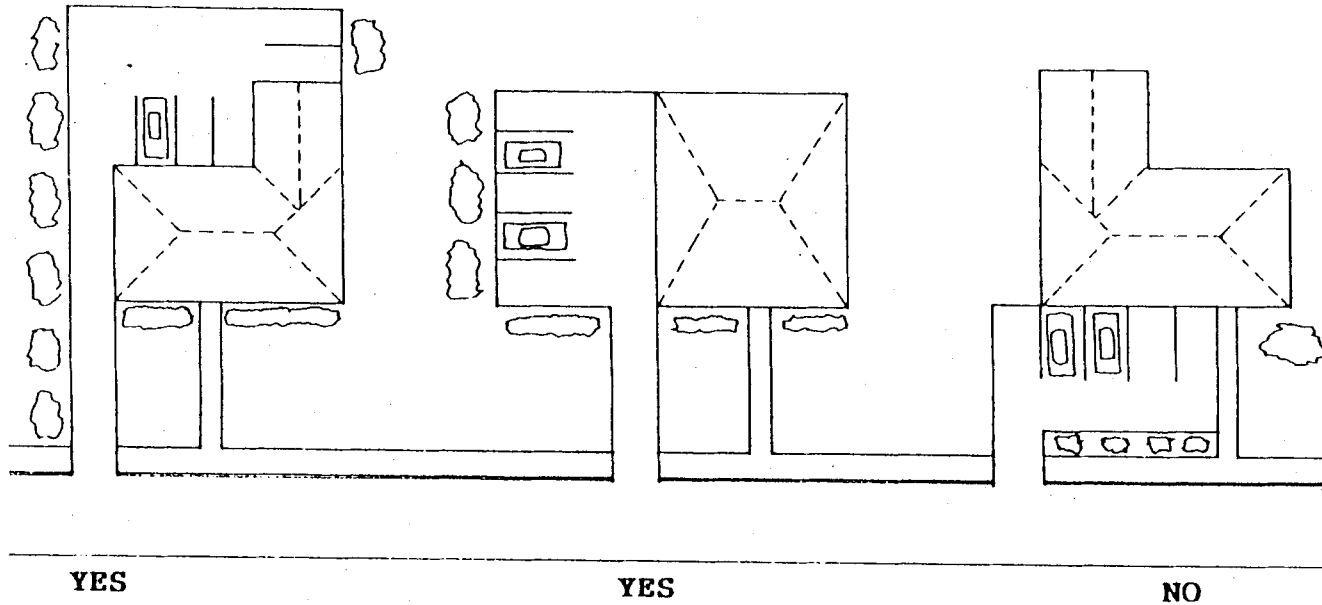
Orientation and roof forms should be maintained on a block.

#89) NEW BUILDINGS SHOULD MAINTAIN ROOF FORMS AND ORIENTATION

Normally Required

- a. New buildings should reinforce and maintain roof forms and orientation of adjacent structures.
- b. Gable and hipped roof variations are appropriate roof forms for new construction. The use of flat or mansard roof forms in residential areas should not occur.
- c. Roof slope ratio should be a minimum of 6:12 and a maximum of 12:12. Roof eaves should be a minimum of 8".
- d. Roofs should be oriented with the ridge line perpendicular to the street. Gable front designs in the historic districts are not appropriate but short ridged gable hipped designs may be appropriate.

NEW RESIDENTIAL BUILDING GUIDELINES



Parking should be located at rear or side facades.

#90) ON-SITE PARKING SHOULD BE LOCATED AT REAR OR SIDE FACADES

Normally Required

- a. On-site parking is inappropriate on the primary facade of a building.
- b. On-site parking should follow site and landscaping regulations of the zoning ordinance.

Recommended

- c. Driveways should be of asphalt, textured or colored concrete, brick, gravel, or similar paving materials.

NEW RESIDENTIAL BUILDING GUIDELINES

#91) HISTORIC BUILDINGS SHOULD NOT BE RELOCATED OUT OF A DISTRICT

Recommended

- a. The relocation or moving of a building or structure from a historic district should not occur if the building or structure has architectural or historical integrity.
- b. Moving a building that does not contribute to the architectural and historical character of a district may occur if its removal would result in a more positive visual appearance to the district.

#92) RELOCATION OF HISTORIC BUILDINGS INTO A DISTRICT MAY BE APPROPRIATE

Normally Required

- a. Relocation of a historic building into a district may be appropriate if it does not result in the loss of a historic building on the site to which it is moved.
- b. A building may be moved into a district if it maintains and supports the district's architectural character through its style, height, scale, massing, materials, texture, site, and setting. The building must be architecturally compatible with adjacent structures on its new site.

Recommended

- c. Where buildings have been moved into a district, it is recommended that they be identified through a plaque or marker both the original construction date, original location and moving date.

NEW RESIDENTIAL BUILDING GUIDELINES

#93) DEMOLITION OF HISTORIC BUILDINGS SHOULD NOT TAKE PLACE

Normally Required

- a. Demolition of historic buildings and structures should not take place. Demolition may only be approved if one or more of the following conditions are met:
 - If a building has lost its architectural and historical integrity and importance and its removal will not result in a more negative, less appropriate visual effect on the district.
 - If the denial of the demolition will result in an unreasonable economic hardship on the applicant as determined by the Historic Zoning Commission.
 - If the public safety and welfare requires the removal of a structure or building.
 - If the structural instability or deterioration of a property is demonstrated through a report by a structural engineer or architect. Such a report must clearly detail the property's physical condition, reasons why rehabilitation is not feasible, and cost estimates for rehabilitation versus demolition. In addition to this report there should be a separate report which details future action on the site.