

## V. NEW COMMERCIAL BUILDING GUIDELINES

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### **#33) NEW CONSTRUCTION SHOULD BE DIFFERENTIATED FROM THE OLD; HISTORIC REPRODUCTIONS ARE NOT RECOMMENDED**

Normally Required

- a. New construction in the commercial area should be differentiated from the old and shall be compatible with adjacent buildings through its massing, size, scale, and architectural features.

### **#34) RECONSTRUCTION OF HISTORIC COMMERCIAL BUILDINGS MAY BE ALLOWED**

Normally Required

- a. Reconstruction of buildings which are clearly documented may take place on their original site.
- b. Reconstructed buildings should be constructed with materials, detailing, and decorative features to match or closely approximate the original building.
- c. Reconstructed buildings should be clearly designated as a reconstruction as opposed to an original historic building. This may be done through a marker applied to the exterior of the building, freestanding sign, or other method of designation.
- d. Freestanding primary facade walls which may be left standing following a fire or internal demolition should be retained and preserved. New construction which maintains the original design and appearance of the building should be encouraged.

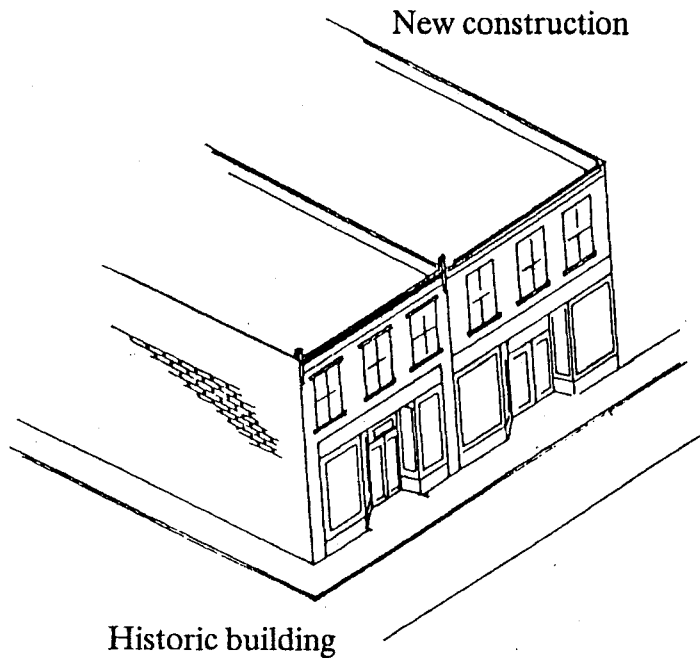
## NEW COMMERCIAL BUILDING GUIDELINES

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### #35) NEW CONSTRUCTION SHOULD MAINTAIN STOREFRONT AND UPPER FACADE CONFIGURATION

Normally Required

- a. New construction should respect and maintain the existing configuration of storefront and upper facade arrangements.



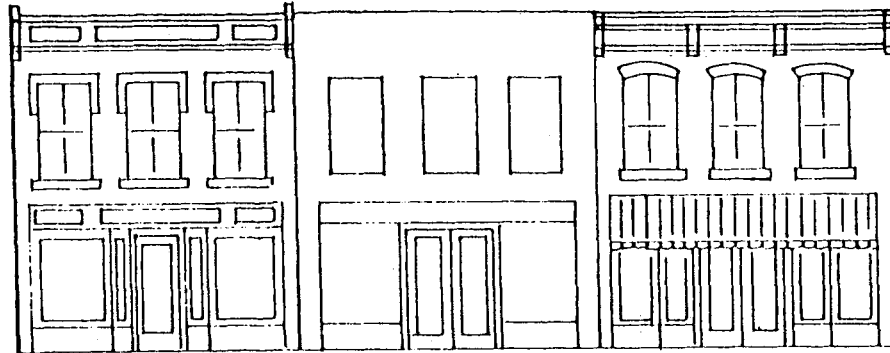
*Storefront configuration should be maintained for new construction.*

Recommended

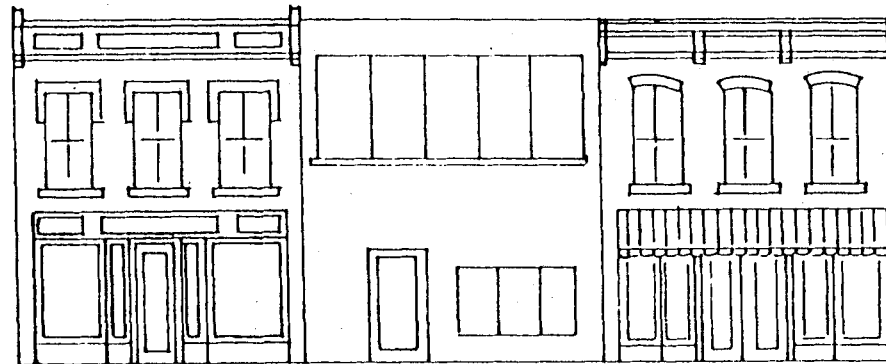
- b. Both flush or recessed storefronts are appropriate for new buildings.
- c. New construction should maintain the appearance of the storefront/upper facade arrangement. The first floor areas of new construction should have large expanses of glass and upper facades should be of solid walls with proportional window openings. The difference between the storefront and upper facade should be clearly defined and expressed through architectural design and features.

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*Yes - storefront and windows are in alignment.*



*No - inappropriate configuration of doors and windows.*

### #36) NEW CONSTRUCTION SHOULD REINFORCE FACADE RHYTHMS

Normally Required

- a. New construction should reinforce the appearance and rhythm of vertical divisions to maintain consistent facade widths.
- b. Buildings with upper facades of solid brick or glass walls or strong horizontal lines should not be constructed.
- c. Buildings which are constructed over several lots, or are 50' or more in width, should be built with designs to reinforce the spacing and arrangements of adjacent buildings. This can be done through the introduction of architectural elements on primary facades such as vertical divisions, through stepping of building heights or widths, and through the use of differing textures or colors.



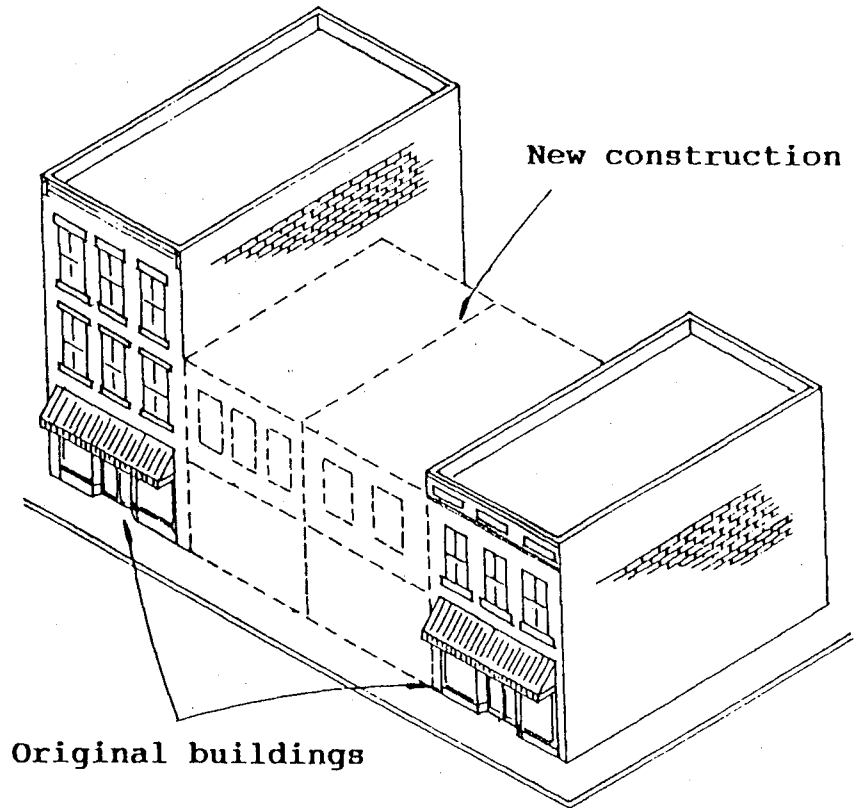
*New construction can reinforce the rhythm of a block through vertical divisions.*

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### #37) UPPER FLOOR WINDOWS SHOULD MAINTAIN ALIGNMENT

#### Normally Required

- a. New buildings in the downtown area should continue the existing alignment and proportions of upper facade windows.
- b. Windows which are not consistent with historic window proportions of upper facade windows.
- c. Appropriate window shapes are rectangular and arched with vertical, rather than horizontal proportions. Square windows, narrow width horizontal windows, and other designs out of keeping with traditional window forms and shapes should not be added.
- d. Historic details such as bay windows, window balconies, or sheet metal cornices should not be added to new buildings.
- e. The use of minimal brick corbelling or banding of brick or concrete to define or decorate windows is appropriate.



*Upper facade windows should maintain alignment.*

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### **#38) NEW CONSTRUCTION SHOULD RESPECT ALIGNMENT**

Normally Required

- a. New construction should respect and reinforce the existing alignment and lack of setback of buildings in the commercial area.
- b. Buildings constructed on the edges of the commercial area or which do not share party walls with adjacent structures may have minimal setback for landscaped areas or pocket parks.

### **#39) NEW CONSTRUCTION SHOULD MAINTAIN BUILDING HEIGHTS**

Normally Required

- a. In no case shall a building's height exceed more than 35'.

### **#40) MATERIALS FOR NEW CONSTRUCTION SHOULD BE COMPATIBLE WITH EXISTING MATERIALS**

Normally Required

- a. Masonry construction is appropriate for the downtown area. Buildings with exterior surfaces of glass and metal, wood, vinyl, or stucco are discouraged.
- b. Masonry materials such as brick, stone, or concrete, should be compatible in size, profile, and detailing with historic materials.

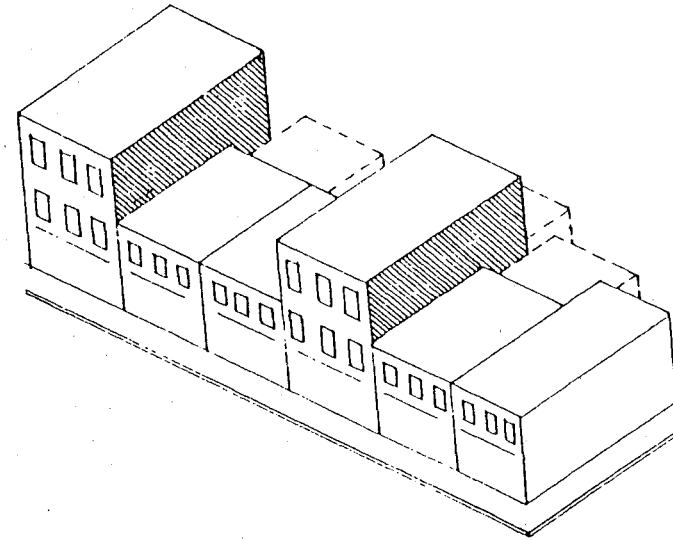
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### #41) ADDITIONS MAY BE APPROPRIATE AT REAR FACADES

#### Normally Required

- a. Additions to downtown commercial buildings may be appropriate at rear facades. Additions should be differentiated from the old in design.
- b. Additions to existing buildings may be of frame or brick construction. Other acceptable materials include concrete and combinations of metal and glass.



*Rear additions may be appropriate.*